



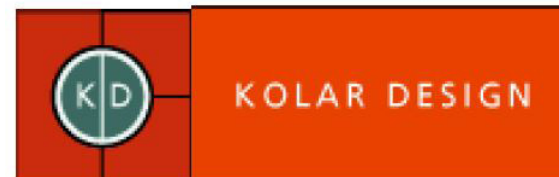
Sharonville Northern Lights Design Standards and Guidelines

City of Sharonville, Ohio
Prepared November 1, 2007
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June 1, 2019
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INTRODUCTION

Master Plan

The Sharonville Northern Lights Design Standards and Guidelines help to implement the design strategies of the 2007 Sharonville Northern Lights Master Plan. This Master Plan is a policy guide for the revitalization of the Chester Road corridor into a vibrant hospitality, office and entertainment district known as Sharonville Northern Lights. The Plan is the result of a collaborative process that included City staff and elected officials, Chester Road stakeholders and a multi-disciplined consulting team.

Goal A: Develop a distinctive and vibrant hospitality, entertainment and office district.

The Master Plan entails expansion of the Sharonville Convention Center, attraction of hospitality-related businesses, and improvements to the appearance and function of the built environment. Figure 1 on the following page depicts the Vision Statement, Goals and Objectives that form the guiding framework for the Master Plan. Below are the Goals and Objectives that guide the Master Plan design strategies and, consequently, form a basis for the Design Standards and Guidelines.

Goal B: Create an aura that celebrates the arrival to the district.

The Vision Statement describes Sharonville Northern Lights as “welcoming” and a “gateway”. As such, the District will welcome visitors with an unique and exciting display of lighting, streetscaping and architecture.

Objectives

- Create gateways at strategic locations to direct and welcome visitors and clearly define the district.
- Create a distinct and consistent streetscape treatment for Chester Road.
- Continue streetscape design elements on private property.
- Create a visual effect that attracts interest from pedestrian and distance viewers.

Goal C: Emphasize pedestrian connections while accommodating automobile access.

The Vision Statement promotes “exceptional design” and an “inviting atmosphere”. Redevelopment projects and infrastructure improvements will reflect design excellence and create an inviting environment for pedestrians. A walkable environment will connect visitors to all aspects of the District and create a vibrant environment.

Objectives

- Define Chester Road as the pedestrian “spine” of the District.
- Calm traffic along Chester Road.
- Create wayfinding systems for pedestrians and automobiles.
- De-emphasize parking lots while ensuring adequate parking supply.
- Incorporate pedestrian amenities in private development.

Purpose

The purpose of the Design Standards and Guidelines is to guide private investment in the redevelopment of the Sharonville Northern Lights District. Public funding sources will finance the Convention Center expansion as well as substantial streetscape enhancements. Private investment must finance the remaining aspects of the design vision through redevelopment.

INTRODUCTION

Connection to Sharonville Zoning Code

The Design Standards and Guidelines are part of the Northern Lights Overlay District, as established in Chapter 1147 of the Sharonville Zoning Code. The zoning district establishes the regulatory tools necessary to enforce the Design Standards and Guidelines and also establishes limited land use restrictions. The ordinance refers to the Design Standards and Guidelines for development standards.

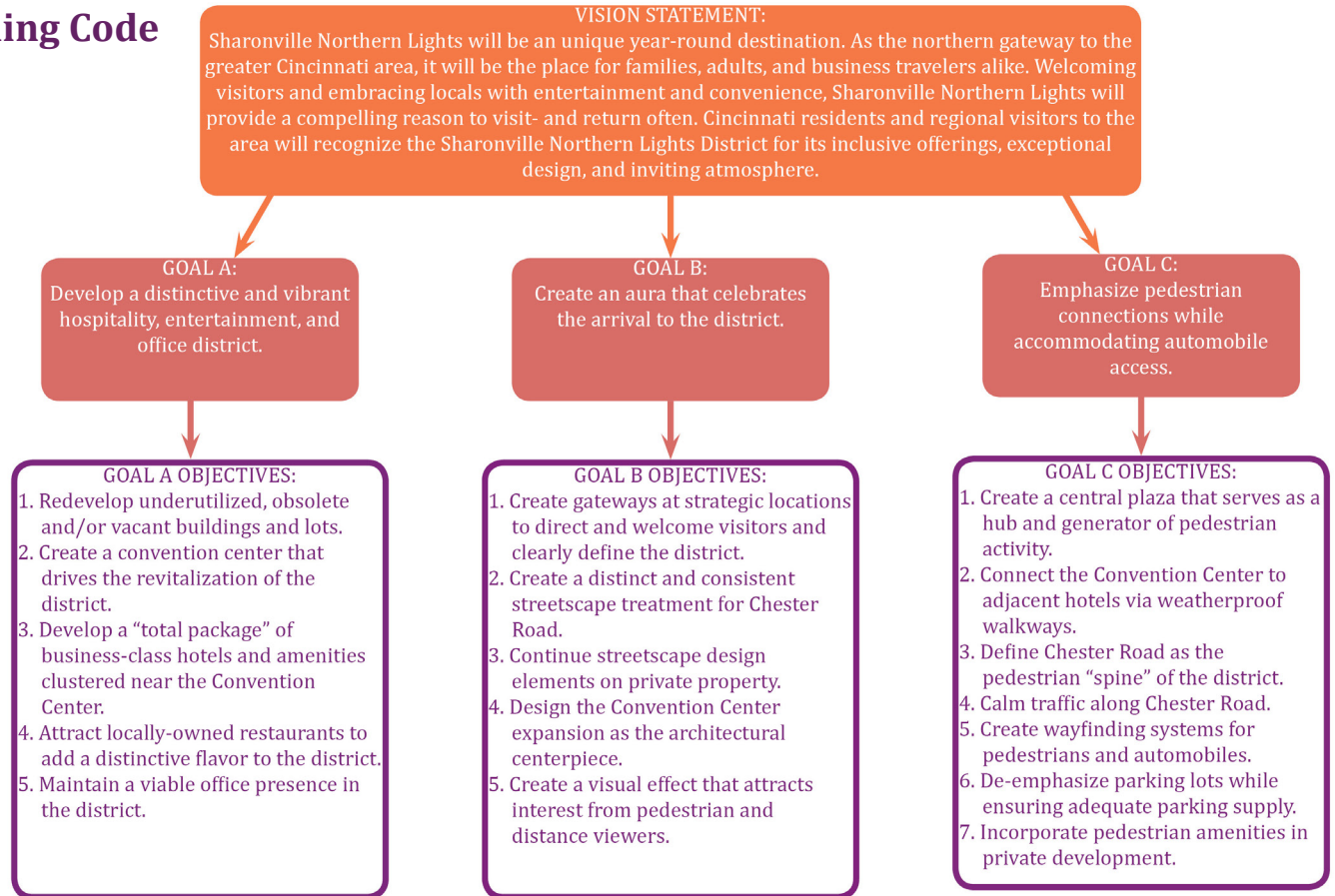


Figure 1: Master Plan Vision, Goals and Objectives



INTRODUCTION

TIF and Overlay District Boundaries

The Boundaries of the Northern Lights TIF and Overlay Districts are illustrated on Figures 2 and 3.

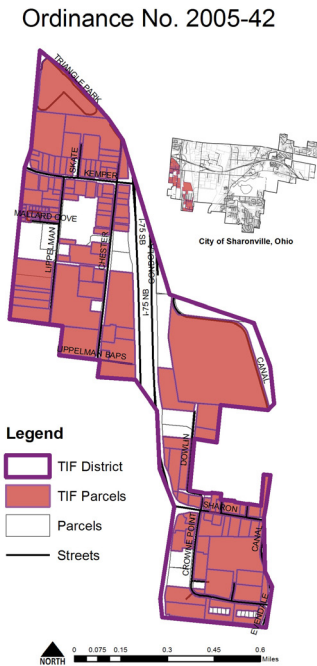


Figure 2: Sharonville Northern Lights District TIF

Sharonville Overlay Districts Northern Lights Overlay District

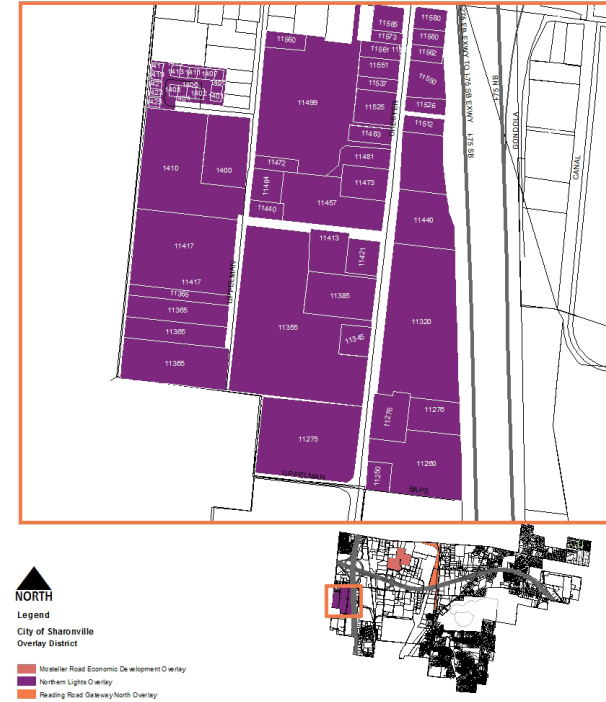


Figure 3: Regional Context

A DISTRICT IN MOTION



ARCHITECTURE

Intent

Building design will create a coordinated, modern architectural style that distinguishes the District, while reinforcing a pedestrian scale. A style described as “Neo-Deco” will provide an accompanying backdrop to the Sharonville Northern Lights streetscape. The Neo-Deco style is described as follows:

- “Deco” draws from the rich heritage of modern building and urban form found in the Cincinnati area.
- “Neo” promotes a nostalgia-free revisit of these models (while not necessarily prohibiting overt borrowing from this language).

Neo-Deco represents an eclectic style allowing for an assemblage of elements from many influences. As such, it is meant to promote a fairly vast spectrum of architectural languages which are conducive to, accentuate and form a cohesive backdrop to the design sensibilities underlying the Sharonville Northern Lights District aesthetic.

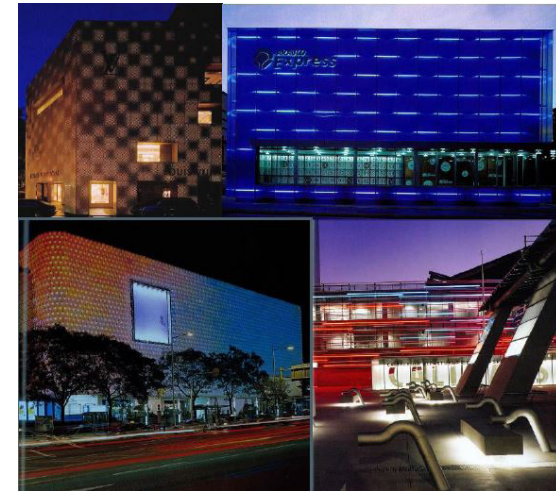


Local Sources of Inspiration for the Neo-Deco Style: Union Terminal (left), Proctor and Gamble Headquarters (right)

A primary objective in establishing the Neo-Deco style range is to discourage architectural styles historically rooted in pre-1920’s expression, and create a distinctly modern district.

Elements of the Neo-Deco Style

The eclectic, inclusive nature of Neo-Deco precludes the use of objective standards. Overly restrictive design requirements will discourage creativity and exclude potentially viable designs.



Examples of the Neo-Deco Style



ARCHITECTURE

Accordingly, this section includes a series of recommendations for building features that can help to achieve the Neo-Deco style. The Building Materials and Building Facades sections include limited objective guidelines that complement the Neo-Deco style while incorporating pedestrian scale into building design.

Recommended Building Features:

- Streamlined appearance with limited ornamentation (except as needed to achieve a pedestrian scale)
- Sharp and angular elements with smooth transitions to faceted and curvilinear geometries
- Curved and/or rounded corners
- Sweeping, striated thrusting lines found in horizontal, vertical and curvilinear motifs
- Ziggurat (Stepped) parapets at facades
- “Eyebrow”-shaped fixed cantilevered canopies
- Bullet shapes
- Nautical motifs such as portholes, masts and undulating wave elements
- The use of lighting from within translucent walls
- Surfaces with a glistening, shimmering or crystalline appearance

1. Building Materials

Intent

Building Materials must offer a crystalline, polished appearance. Rougher textures should be utilized only as accent materials. Examples of preferred materials include metal panels, perforated metals, translucent panels, glass block, glass with etched and frosted glazing, and decorative concrete.

Standards

A. Prohibited Materials: The use of vinyl, E.I.F.S., shingles or shakes is prohibited.



Example of cantilevered canopies

ARCHITECTURE

2. Building Facades

Intent

Buildings must convey a street presence that is decidedly modern and pedestrian in scale. The core of the District (between Greenwood Road and Clinton Avenue) should include a more densely developed atmosphere with taller buildings than surrounding areas.

Standards

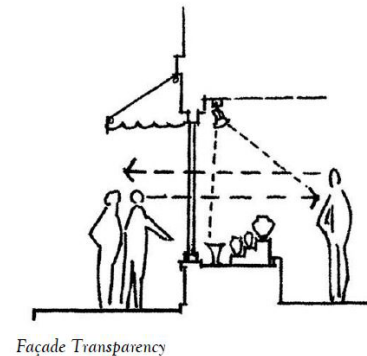
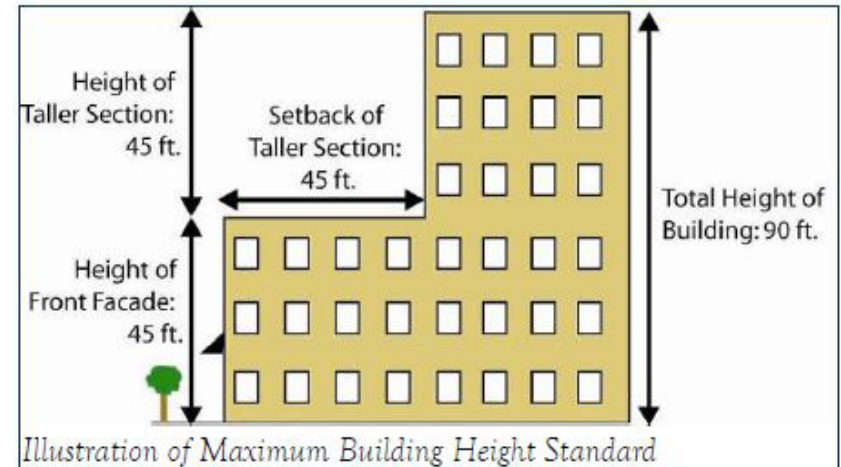
A. Minimum Height: Buildings located on properties with frontage on Chester Road between Clinton Avenue and Greenwood Avenue must be at least 16 feet tall.

B. Maximum Height: Although taller buildings are permissible, the front portion of the building must be built at a pedestrian scale, and impacts on surrounding residential areas should be minimized. Maximum heights are provided below for specific locations within the Overlay District. Maximum height applies to the front façade of the building, or for parcels that are adjacent to a residential district that is outside the Northern Lights Overlay District, any façade facing such a district.

i. Properties with frontage on Chester Road between Clinton Avenue and Greenwood Avenue: 45 feet.

ii. All other locations in the Overlay District: 35 feet. Taller building sections must be set back by one additional foot per additional foot of height.

C. Façade Articulation: Front facades must incorporate vertical piers or other vertical elements to break the plane of building facades that exceed a width of 50 feet.



D. Façade Transparency: Front facades must incorporate clear window glass that permits a full, unobstructed view of the interior to a depth of at least four feet on at least 40% of the building façade area between a height of 2 feet and 10 feet above grade. This standard applies only to building facades located at building lines along Chester Road. The pattern of window glass must continue for a minimum of 10 feet along the sides of the building.

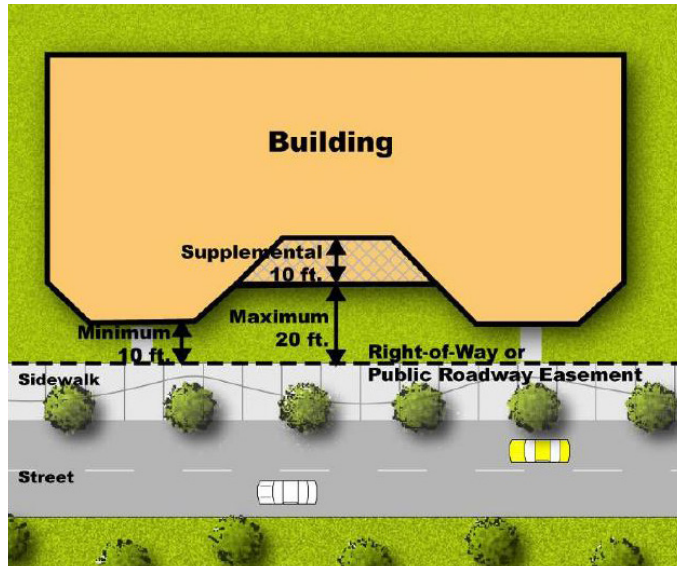


SITE DESIGN

1. Building Placement

Intent

The Sharonville Northern Lights District is pedestrian in scale, yet campus-like in design. Buildings should be placed close to the street to encourage pedestrian activity, while allowing space for landscaping, pedestrian plazas and outdoor dining. Building setbacks should vary, creating a meandering street wall that is visually interesting and consistent with the meandering nature of the Chester Road streetscape design.



Standards

A. Minimum Front Yard Depth: 10 feet from the planned right-of way or public roadway easement, whichever depth is greatest.

B. Maximum Front Yard Depth: New structures must be 20 feet from the planned right-of-way or public roadway easement, whichever depth is greatest. The Maximum Front Yard Depth may be extended by an additional 10 feet for up to 30% of the façade length, as long as the supplemental front yard is used for outdoor dining, pedestrian walkways, or a formally landscaped plaza. The Maximum Front Yard Depth Standard does not apply to the alteration or enlargement of existing buildings.

C. Minimum Rear and Side Yard Depth:

i. Distance between Buildings: Zero feet of building separation is permissible. A minimum of 10 feet of building separation is required when side building walls do not abut one another on adjacent properties.

ii. Building Distance from Street Right-of-Way: 10 feet from the planned right-of-way or public roadway easement, whichever depth is greatest, for any side or rear yard that abuts an existing or planned street right-of-way or public roadway easement.

iii. Building Distance from Adjacent Residential Districts: 20 feet from an adjacent residential district that is located outside the Northern Lights Overlay District. The rear or side yard setback must incorporate buffering and screening consistent with Section 1125.11 of the Zoning Code. Any wall or fence used for screening must utilize materials and colors that compliment the design of the principal building.

SITE DESIGN

Guidelines

A. Front Yard Depth Variation (Adjacent Properties): Place buildings at front yard depths that are different from adjacent properties, within the required 10 to 20 foot range.

B. Front Yard Depth Variation (Individual Buildings): Include projections and recesses in order to create variation in the setback within individual buildings.

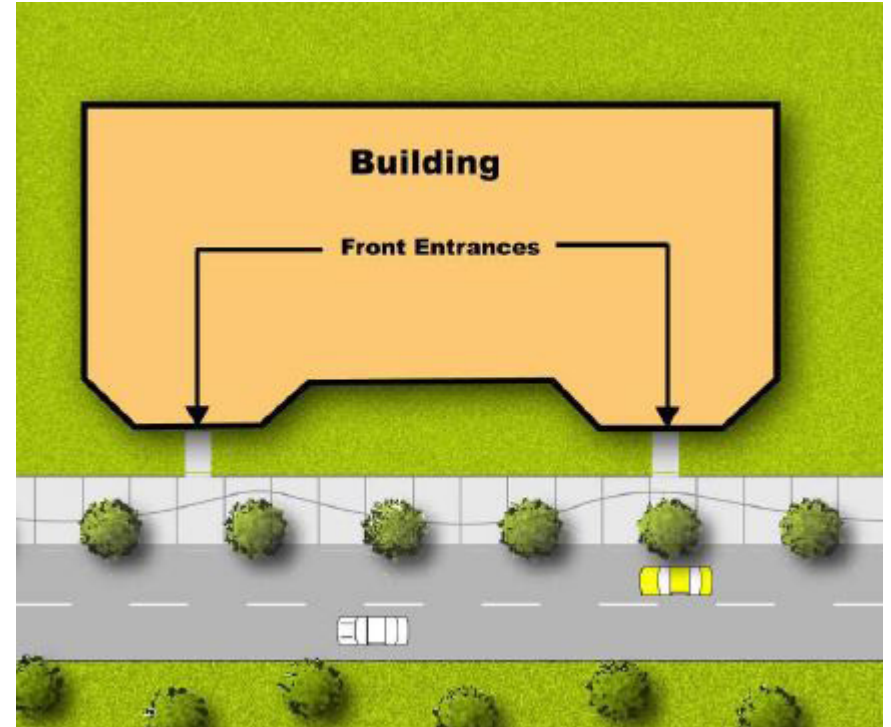
C. Front Entrance Facing Chester Road: Orient building walls so the front entrance faces Chester Road.

D. Framing of Intersections: Buildings on corner lots must be within 20 feet of each street right-of-way or public roadway easement (whichever distance is greatest) in order to “frame” the intersection.

2. Parking

Intent

While adequate off-street parking must be provided, parking lots must not be a dominant visual feature. Parking lots that are concealed and minimized reinforce an attractive, pedestrian-oriented environment, reduce stormwater runoff and maximize areas devoted to landscaping and pedestrian use.



SITE DESIGN

Standards

A. Minimum Off-street Parking Setback:

- i. 10 feet from any planned right-of-way or public roadway easement, whichever distance is greatest.
- ii. 10 feet from any adjacent residential district that is located outside the Northern Lights Overlay District. The rear or side yard setback must incorporate buffering and screening consistent with Section 1125.11 of the Zoning Code. Any wall or fence used for screening must utilize materials and colors that compliment the design of the principal building.
- iii. No parking setback is required for side and rear yards within the Northern Lights Overlay District that do not abut a right-of-way or public roadway easement.

B. Front Yard Prohibition: Parking lots or stacking spaces located between a building and the Chester Road right-of-way are prohibited.

C. Rear Yard Parking Lot Placement: Place at least 30% of the parking lot area to the rear of a structure.

D. Minimum Parking Requirements: Provide an adequate supply of off-street parking spaces, as described in Section 1151.04 of the Zoning Code. The City may reduce minimum parking requirements if parking is shared with other uses, as further described in Guideline A of this section.

E. Screening: Screen parking lots that are visible from any street right-of-way with a decorative wall or fence or a continuous row of shrubs with a height no less than 3 feet and no more than 4 feet. Decorative walls and fences must be constructed

of masonry, stone, or ornamental metal. Shrubs must be a minimum of 3 feet tall at installation and provide 50% winter opacity within two years of planting.

F. Interior Landscaping Area: Interior landscaping consists of landscaped islands that are distributed throughout the parking lot to define major circulation routes and driving lanes and provide visual and climatic relief from broad expanses of pavement. Include at least five percent of the parking lot in interior landscaping for parking lots containing 6,000 square feet or more with 20 or more parking spaces. Include the total vehicular surface area including circulation aisles in calculating the area of a parking lot. Exclude landscaped areas used for screening from the interior landscaping requirement.



SITE DESIGN

G. Landscape Island Dimensions: Each landscape island must measure at least five feet in any horizontal direction.

H. Interior Planting Requirements: Provide at least one shade tree and two shrubs per 10 spaces within landscaped islands, provided there is no impairment to visibility of motorists or pedestrians. As an alternative to this Standard, design landscaped islands as stormwater infiltration islands, as described in this section under Guideline B.



I. Additional Landscaping Requirements: Provide twice the interior landscaping areas and planting requirements as described in Standards F and H for off-street parking lots that exceed the minimum requirements established in Section 1151.04 of the Zoning Code.

J. Parking Garages: Off-street parking that is enclosed in a multilevel garage is exempt from Standards B and E through I. Maintain consistency with Standards and Guidelines listed in the Architecture section for parking garages located at building lines along Chester Road.



Figure 4: Northern Lights District Streetscape, 2019



SITE DESIGN

Guidelines

A. Shared Parking: Shared parking represents an arrangement whereby two or more uses provide their required off-street parking in the same parking lot, thereby reducing the number of individual parking lots and the number of curb cuts required to serve such lots. The City may reduce the required off-street parking spaces by up to 30%, if the Applicant satisfies the following requirements:

B. Shared Parking Agreement: If a privately owned parking facility is to serve two or more separate properties, a legal agreement between property owners guaranteeing access to, use of, and management of designated spaces must be filed with the Safety Services Director. Shared parking facility privileges will continue in effect only as long as the agreement remains in force. If the agreement is no longer in force, then parking must be provided as otherwise required by this Chapter.

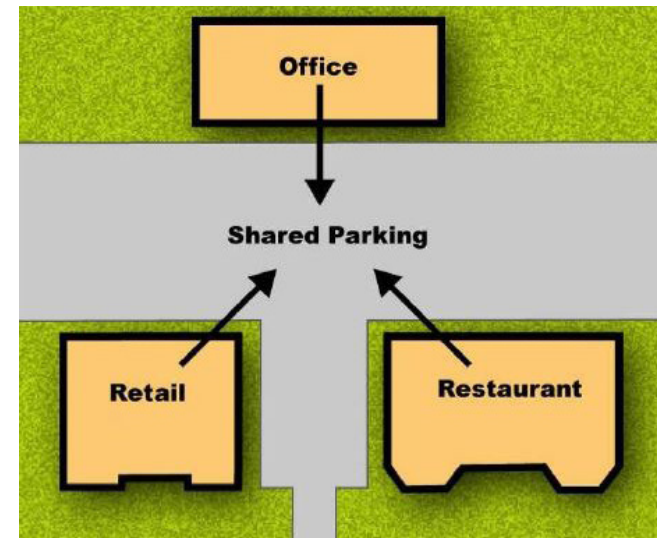
C. Shared Parking Plan: Provide a site plan of parking spaces intended for shared parking and their proximity to land uses that they serve. All shared spaces must be located within 500 feet of the principal building entrances of all sharing uses.

D. Calculation of Required Parking Spaces: Provide documentation that the shared parking arrangement adequately meets the shared peak parking demand of all sharing uses. Shared peak demand is calculated as follows:

- i. Determine the number of parking spaces that are required for each land use separately, using Section 1151.04 of the Zoning Code.
- ii. Based on the hourly variation in parking demand, determine the peak parking demand for the combined demand of all the uses in the development. Estimates of hourly variation should be based on standardized data sources such as the Urban Land Institute and the Institute of Traffic Engineers or field studies of similar land uses

within the jurisdiction. Depending on the type of uses involved, this analysis may need to consider variations between weekdays and weekends, as well as seasonal peak periods.

iii. Compare the calculations of the two steps above, and the lesser of the two peak parking demands shall be used as the minimum number of parking spaces that need to be provided.

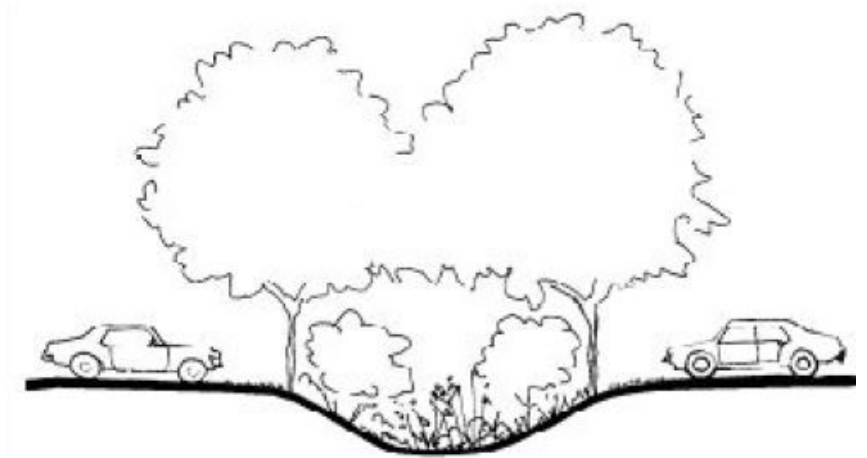


SITE DESIGN

A. Stormwater Infiltration Islands: Infiltration islands are planted areas that are designed to accept stormwater runoff from parking areas, providing temporary storage and on-site infiltration. Utilize interior landscaped islands required in Standard F as infiltration islands. Additionally, utilize areas between parking rows and connect to landscaped islands at the ends of the row. Below are guidelines for constructing infiltration islands:

- i. Incorporate curb cuts or flat curbs along the edges of the island that allow water to flow into the island.
- ii. Create a shallow depression of 6 to 18 inches to allow for ponding in the island.
- iii. Locate ponding areas at least 10 feet away from any building foundations to ensure that the ponded water does not drain to foundations.
- iv. Include perennial flowers, ornamental grasses, shrubs and edges created by attractive walls, pavers or a band of turf, in order to create an attractive appearance in the island.
- v. Include plants that tolerate snow storage and winter salt and sand.
- vi. Plant the tallest flowers and shrubs in the deepest part of the island.

B. Parking Garage Ground Floor: Incorporate ground-floor commercial space that is oriented toward Chester Road in parking garages built at a building line along Chester Road.



Example of Infiltration Island



SITE DESIGN

3. Landscape Design

Intent

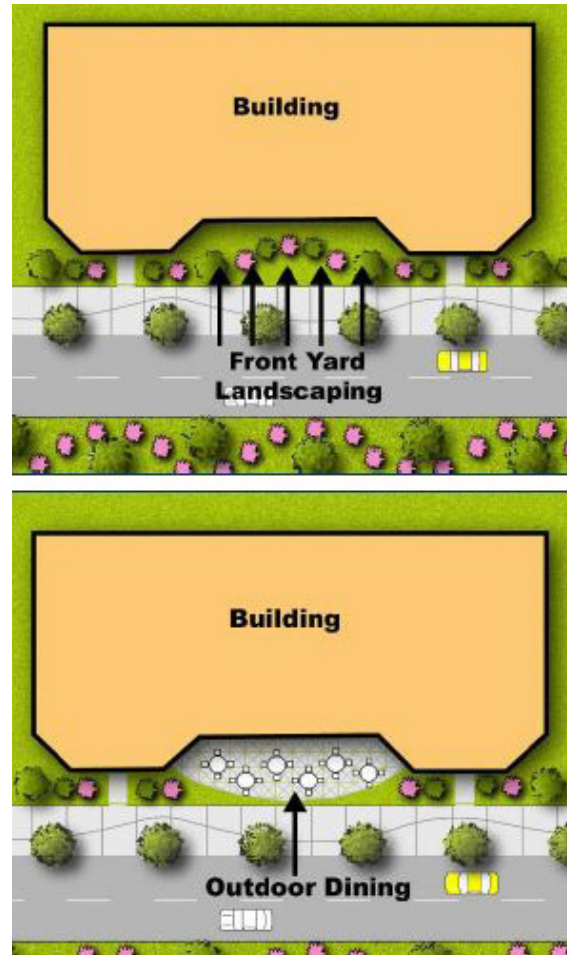
Site design must emphasize landscaping and pedestrian areas to the same degree as buildings. Pedestrians will walk through an environment of lush landscaping interspersed with inviting pedestrian gathering spaces.

Standards

A. Front Yard Landscaping: Plant the front yard with live vegetation and shade trees and conifers, except for paved areas expressly designed for pedestrians. Include one tree per 50 lineal feet of lot frontage along Chester Road.

B. Tree Size: All trees, at time of installation, must have a minimum 2-inch caliper trunk.

C. Shrub Size: All shrubs, at time of installation, must have a minimum height of 2 feet.



Guidelines

A. Pedestrian Amenities: Include pedestrian amenities that offer attractive spaces for customer and visitor interaction and create an inviting image, as an alternative to landscaped areas. Pedestrian amenities may include outdoor pedestrian plazas, dining areas, street furniture, water features, clock towers, public art, or a combination thereof. Pedestrian amenities must be a minimum of 10 square feet and be located in the front or side yards of parcels adjacent to Chester Road.

B. Non-Turf Landscaping: Plant at least 50% of the front yard area (not including areas designated for pedestrian use) with flowers, shrubs, trees, and ground cover other than turf.

C. Meandering Design Element: Design landscape beds and pedestrian plazas in a curvilinear, meandering fashion, consistent with the Sharonville Northern Lights District design theme. Accomplish the meandering design element with edges of landscape beds, arrangement of vegetation within the landscape beds, edges of pedestrian plazas and/or the pavement texture of pedestrian plazas.

SITE DESIGN

4. Lighting

Intent

A central element of the Sharonville Northern Lights District is a multi-layered lighting design that reinforces the Sharonville Northern Lights images throughout the District. The use of lighting in all architectural and landscaping elements in the District provides opportunity to immerse the viewer in the District experience. The ambience of the lighting will encourage interaction of visitors with the surrounding environment.

Standards

A. Intensity: Limit the light level produced by parking lot or pedestrian walkway lighting to no more than 0.2 maintained footcandles at any public street right-of-way. In addition:

- i.* Limit the light level produced by parking lot lighting to no more than 0.5 maintained footcandles at any property line in a residential district.

- ii.* Produce an average light level along pedestrian walkways of at least 0.6 maintained footcandles, and limit the light level produced by pedestrian walkway lighting to no more than 0.2 maintained footcandles at any property line.

B. Luminaire Mounting Height:

- i. Parking Areas:* Utilize a mounting height of no more than twenty-five (25) feet above finished grade.

- ii. Pedestrian Walkways:* Utilize a mounting height of no more than fourteen (14) feet above finished grade.

C. Service Connections: Locate service connections for all freestanding lighting pole assemblies underground.

D. Type: Utilize only cutoff luminaires, except for the instances noted below. Avoid flood lights and flood lamps.

- i.* Non-cutoff luminaires may be used when the maximum initial lumens generated by each luminaire shall not exceed 9500 initial lamp lumens per luminaire.

- ii.* Coat all metal halide, mercury vapor, fluorescent, induction, white high pressure sodium and color improved high pressure sodium lamps used in non-cutoff luminaires with an internal white frosting inside the outer lamp envelope.

- iii.* Utilize an internal refractive lens or a wide-body refractive globe for all metal halide luminaires equipped with a medium base socket.

- iv.* Equip all non-cutoff open-bottom luminaires with full cutoff luminaire shields that reduce glare and limit uplight.

E. Control of Glare from Direct Lighting: Direct lighting may be used to illuminate landscaping, buildings, and other site elements. Select, locate, aim and shield luminaires so that direct illumination is focused exclusively on the intended site elements and away from adjoining properties and the public street right-of-way.



SITE DESIGN

Guidelines

A. Lighting of Landscaping Elements: Incorporate lighting of landscape elements in order to contribute to the ambience of the Sharonville Northern Lights District. Landscape lighting fixture styles must be consistent with the lighting designs provided in Appendix A.

B. Building Façade Lighting: Incorporate building façade lighting that enhances a building's architectural features and creates a visual effect for pedestrian and distance viewers. Building façade lighting fixture styles must be consistent with the lighting designs provided in Appendix A.

C. Parking Lot and Pedestrian Area Lighting Style: Utilize luminaire and pole assembly styles in parking lots and pedestrian areas that complement, in appearance, those used for lighting Chester Road. Appendix A includes illustrations of permitted luminaire and pole assembly styles.



Examples of Building Façade Lighting



SITE DESIGN

5. Pedestrian Circulation

Intent

Site design must provide a safe and attractive environment for pedestrians. Pedestrian connections must be separated from automobile traffic. Walkways should be designed to continue the design theme of the Chester Road streetscape.

Standards

A. Intensity: Provide a pedestrian walkway from the public sidewalk along Chester Road to the primary entrance of each building.

B. Building-to-Building Connection: Provide pedestrian walkways between the primary entrances of multiple buildings on a site and buildings on adjacent properties. Provide crosswalks where walkways cross driveways or parking lots.

C. Building-to-Parking Connection: Provide a pedestrian walkway from a parking lot to a building entrance.

D. Minimum Width of Pedestrian Walkways: 5 feet.



SITE DESIGN

Guidelines

A. Meandering walkways: Construct pedestrian walkways with a curvilinear, meandering alignment. Include landscaping on both sides of the walkway, in order to separate pedestrians from automobiles and create an attractive walking environment.

B. Crosswalk delineation: Visually distinguish pedestrian walkways that cross parking lots or driveways through the use of a change in paving materials distinguished by color, texture and/or height.



SITE DESIGN

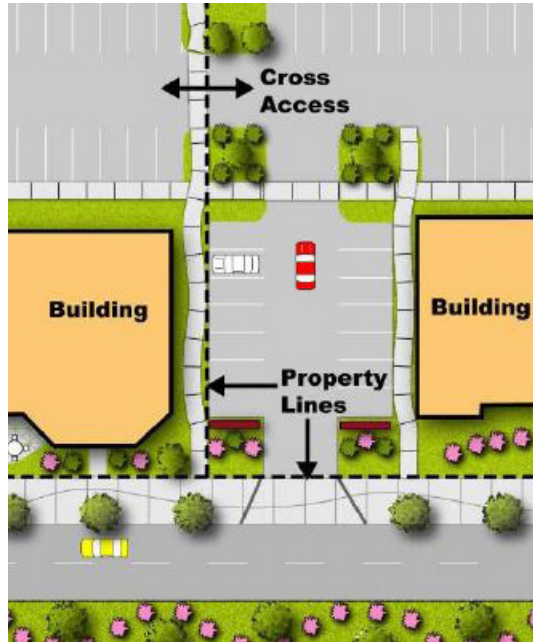
6. Vehicular Circulation

Intent

The Sharonville Northern Lights District will provide safe, efficient vehicular access by reducing vehicular conflicts, minimizing delays, and reducing congestion. These attributes will sustain the Sharonville Northern Lights revitalization effort and attract visitors. Accordingly, site design must incorporate access management standards which include but are not limited to the following: providing cross access between properties, shared driveways between properties, right-in/ right-out access and full access intersections located at strategic locations only.

Standards

A. Interparcel Access Requirements: For any use or development proposed in the Northern Lights Overlay District, the property owner shall grant an access easement to all properties on the same block between intersecting streets. The purpose of the easement is to facilitate movement of customers and their vehicles from establishment to establishment (lot to lot) without generating additional turning movements on Chester Road. The interparcel access easement shall be provided subject to the following provisions:



i. City Review of Easement: Such interparcel access easements shall be submitted to the City for review and approval and recorded, and reference to deed book and page of such recorded easement shall be provided to the Zoning Administrator.

ii. Maintenance Agreement: Such interparcel access easement agreements shall include joint maintenance agreements including the responsibilities of the property owner and benefited parties.

iii. Access Rights: The interparcel access easement shall grant access easement rights and permit automobile access from all properties on the same block between intersecting streets to driveways and service drives intended for customer or tenant use.

iv. Effective Date: The granting of such easement shall be effective upon the granting of reciprocal easements by the remaining property owners.

v. Location: The location of access easements and underlying vehicular connections across a property shall be determined by the Zoning Administrator, in conjunction with the City Engineer and applicable fire/EMS authority and adjoining property owners.



SITE DESIGN

vi. Extension of Pavement: Unless already in place, the pavement or other surfacing of the owner’s driveways and/or service drives or parking lots shall be extended to the property line. The stub drive shall be designed and constructed to make it visually obvious that the service drive is intended to connect to adjoining properties and to provide cross access.

vii. Design of Access Drives and Lanes: Service drives and access lanes needed to accommodate interparcel access shall be designed and constructed with:

- a. A minimum pavement width of 24 feet measured from edge of pavement to edge of pavement.
- b. Pavement geometrics to safely support a 10 m.p.h. design speed.
- c. Wider pavement widths at curves to accommodate delivery truck circulation.
- d. An eight-inch asphalt or six-inch concrete pavement.

viii. Waivers: Where physical site-specific conditions are such that the adverse impact of the required easement on the use of the property would outweigh the reduced impact on the public street provided by the reciprocal easements, the Zoning Administrator, in conjunction with the City Engineer and applicable Fire/EMS authorities, may waive the requirement for access easements, in whole or in part, administratively.

B. Curb Cut Spacing: Minimum curb cut spacing requirements may be set on a case-by-case basis by the Zoning Administrator in consultation with the City Engineer, but in no instance shall be less than the distances listed in Table 1. Distances are measured according to the methods described in Table 1.

i. Sites with Insufficient Frontage: For sites with insufficient frontage to meet the criteria in Table 1, the Zoning Administrator, in consultation with the City Engineer, may require construction of the driveway from a side street or a shared driveway with an adjacent property.

C. Location of Drive-Through Facilities: Drive-through windows or canopies must be attached to the principal building and located to the rear of the building.

D. Lighting of Drive-Through Facilities: Design lighting under vehicular canopies so as not to create glare off-site, with a maximum point of horizontal illuminance of 24.0 maintained footcandles. Acceptable lighting methods include one or more of the following:

- i.* Recessed luminaire incorporating a lens cover that is either recessed or flush with the bottom surface (ceiling) of the vehicular canopy.
- ii.* Luminaire incorporating shields, or shielded by the edge of the vehicular canopy itself, so that light is restrained to five degrees or more below the horizontal plane.

Street	Minimum Spacing between Driveways	Minimum Spacing between a Driveway and an Intersection	Minimum Spacing between a Driveway and a Roundabout
Measurement method	Driveway edge of pavement to driveway edge of pavement	Driveway edge of pavement to intersecting street edge of pavement	Driveway edge of pavement to roundabout yield point
Chester Road	175	250	250
Clinton Avenue, Greenwood Avenue, Lippelman Road	150	175	175

Table 1: Minimum Curb Cut Spacing



SITE DESIGN

- iii. Surface mounted luminaire incorporating a flat glass that provides a cutoff optic or shielded light distribution.
- iv. Surface mounted luminaire, typically measuring two feet by two feet, with a lens cover that contains at least two (2) percent white fill diffusion material.
- v. Indirect lighting where light is beamed upward and then reflected down from the underside of the vehicular canopy. Such luminaires shall be shielded such that direct illumination is focused exclusively on the underside of the vehicular canopy.

7. Utility Areas

Intent

Utility areas include trash collection areas, grease disposal receptacles, loading and service bays, transformers, electric and gas meters, and similar uses. These areas must be screened in order to mitigate undesirable effects such as noise, odors, and an unattractive appearance.

Standards

A. Utility Placement: Bury or reroute visible utilities to an unobtrusive location. Incorporate all gas and electric meters, downspouts, and other appurtenances into the structure or utilize a similar color and/or materials to the principal structure.

B. Dumpster Screening: Locate all dumpsters to the rear of the structure in order to minimize views from the street and neighboring properties. Screen dumpsters on three sides with a wall to a height equal to that of the dumpster. Equip the fourth side of dumpster screening with a minimum 90% opaque lockable gate that is the same height as the enclosure around the other three sides. Integrate the screening treatment with the overall building design through the use of complementary materials and colors.

C. Loading Area Screening: Locate loading areas to the rear of the building. Screen loading areas that are visible from adjacent properties, public thoroughfares, or parking lots with walls or landscaping to a minimum height of six feet. Landscaping must reach a minimum height of six feet and a minimum 90% winter opacity within 2 years of planting. When using walls for screening, utilize materials and colors that complement the design of the building.

D. Mechanical Equipment Screening: Screen roof-mounted mechanical equipment from public view to the height of the equipment. Utilize a design, colors and materials that are architecturally compatible with the rooftop and the aesthetic character of the building. Screen ground-mounted mechanical equipment from view either by landscaping or in a manner architecturally compatible with the building.



SIGNAGE

Intent

Businesses require identification of some type, whether it is the name of the establishment or merely the street address. In constructing signs, businesses must consider the broader impact on the appearance and image of the Sharonville Northern Lights District. An important component of the Northern Lights vision is an integrated graphics package that includes signs in the right-of-way as well as private property.

1. General

The intent of the signage within the district is to promote the businesses while aesthetically and architecturally supporting the overall brand and theme character of Sharonville Northern Lights. The materials, scale, modularity, lighting and type of sign can be expressive of the Sharonville Northern Lights theme through a coordinated approach while showcasing the individual businesses.

Standards

A. Permitted Sign Types: Wall signs, awning signs, signature signs, freestanding signs and incidental directional signs.

B. Prohibited Sign Types: The following signs are prohibited: projecting signs, roof-mounted signs, ground signs, pole signs, rotating and flashing signs, signs with intermittent and/or oscillating illumination, signs on backlit awnings, billboards, exterior window signs, bench signs, and off-premise signs except approved shared freestanding signs.

C. Illumination: Utilize either internal or external illumination for signs, while meeting the following standards:

- i. Ensure that external luminaires are aimed and shielded so that direct illumination is focused exclusively on the sign and is not visible from adjacent property or road rights-of-way.

- ii. Avoid internally illuminated signs that have a translucent background. Utilize an opaque background with translucent text.

2. Wall Signs

The intent of the wall sign is to promote the business to pedestrians and automobiles. Wall signs are affixed to the façade of the building.

Standards

A. Sign Area: Limit the area of wall signs to one square foot per lineal foot of façade length, not to exceed the following:

- i. 64 square feet on single-tenant buildings
- ii. 48 square feet per tenant on multi-tenant buildings

B. Number and Location of Signs: Limit wall signs to one per street frontage on each parcel, with a maximum of two wall signs per parcel. In the case of a multi-tenant building, allow one wall sign for each tenant having an individual building entrance. Provide only one wall sign not to exceed 64 square feet where several tenants use a common entrance in a multi-tenant structure. The area of this sign may be allocated on an equal basis to all tenants provided that the total wall sign area does not exceed 64 square feet.

C. Materials and Colors: Wall signs must utilize a style, materials and colors that compliment the building façade. Wall signs may not be painted directly onto the building.



SIGNAGE

3. Awning Signs

The intent of the awning sign type is to promote the unique architectural character and style of the district. The awnings can project from the building as ornamentation and carry the business identification.

Standards

A. Sign Area: Limit the total area of lettering and logos to 25% of the total exterior surface of the awning.

B. Height: Attach the awning to the building so that no part of the awning or awning support structure is less than eight feet or more than 12 feet from the surface of the established grade under the sign.

C. Maximum Projection: An awning or canopy sign can project out from the wall to which it is attached no more than five (5) feet.

D. Materials and Colors: Awnings and awning signs must utilize a style, materials and colors that compliment the building façade.

4. Signature Signs

The purpose of a signature sign is to identify a business to a regional audience. Signs mounted on the walls of taller buildings facing I-75 should identify a business without compromising the pedestrian scale along Chester Road.

Standards

A. Sign Area: Limit the total area of lettering and logos to 25% of the total exterior surface of the awning.

B. Height: Attach the awning to the building so that no part of the awning or awning support structure is less than eight feet or more than 12 feet from the surface of the established grade under the sign.

C. Maximum Projection: An awning or canopy sign can project out from the wall to which it is attached no more than five (5) feet.

D. Materials and Colors: Awnings and awning signs must utilize a style, materials and colors that compliment the building façade.



SIGNAGE

5. Freestanding Signs

The intent of the freestanding sign is to promote the business to automobiles and integrate with a broader wayfinding system for the Sharonville Northern Lights District. Each sign will consist of a decorative mounting structure and one or more message panels. The mounting structures will complement the design of existing or proposed buildings and development themes (Ord. 2017-32, 10-02-2017) in the District. Commercial messages must be limited to the message panels, which may be customized to the needs of each individual business. The freestanding signs are designed to be modular, updateable and removable as the district businesses evolve.

Standards

A. All new freestanding signs shall be monument signs as described in Appendix A. (Ord. 2017-32, 10-02-2017)

B. Message Panel Design: An individual business may utilize colors and styles on a panel to meet the business's needs, provided that the materials and dimensions of the panel conform to the design specifications described in Appendix A.

C. Number of Signs: Only one freestanding sign is permitted per parcel. A corner parcel with two (2) street frontages is permitted an additional freestanding sign. Free-standing signs on the same parcel must be a minimum of 100 feet apart. (Ord. 2017-32, 10-02-2017)

D. Multiple Tenants on a Parcel: Multiple tenants on a parcel must share a single freestanding sign. Each tenant may utilize a single advertising panel. (Ord. 2017-32, 10-02-2017)

E. Location: Freestanding signs are only permitted within a front yard. In addition, the following regulations apply to the Freestanding Sign included in Appendix A:

i. Alternative A: New freestanding signs are only permitted in the front yard. (Ord. 2017-32, 10-02-2017)

ii. Alternative B: New freestanding signs shall be monument signs, and 5 feet from any right-of-way. (Ord. 2017-32, 10-02-2017)

Guidelines

A. Multiple Properties Sharing a Freestanding Sign: Two or more businesses on separate parcels that share a single driveway are encouraged to share a sign in order to prevent sign clutter in the District. In addition to the standards for freestanding signs listed in this section, freestanding signs that are shared by businesses on multiple parcels must meet the following requirements:

i. Interparcel Access Easement: The property on which the sign is located must have in place an interparcel access easement that grants automobile access to all properties that will utilize the sign. The access easement must meet all requirements described under Site Design, Vehicular Circulation, Standard A.

ii. Sign Shared-Use Agreement: Include a sign shared-use agreement permitting collective advertising. The agreement shall:

- a. Grant sign use to at least one additional business.
- b. Be in a form acceptable to the City as approved by the Zoning Administrator with assistance from the City Attorney.
- c. Be recorded, and reference to deed book and page of such recorded agreement shall be provided to the Zoning Administrator.
- d. Grant business the right to advertise.
- e. Include rights and responsibilities of the sign owner and lease holder including methods of determining and collecting equitable lease rates and maintenance costs.

SIGNAGE

6. Incidental Directional Signs

The intent of the incidental directional sign is to provide on-site navigational assistance to automobiles visiting a business. Directional signs identify entrances, exits, or other directional information and bear little or no commercial message. All incidental directional signs within the Northern Lights Overlay District require a zoning permit. Each sign will consist of a decorative mounting structure and a message panel. The mounting structures will be uniform in appearance and will complement the design of the existing or proposed buildings and development themes (Ord. 2017-32, 10-02-2017) in the District. Commercial messages and directional information must be limited to the message panels, which may be customized to the needs of each individual business.

Standards

A. Mounting Structure Design: The style, materials, colors, and dimensions of the mounting structure for all directional signs must conform to the design specifications described in Appendix A.

B. Message Panel Design: An individual business may utilize colors and styles on a panel to meet the business's needs, provided that the materials and dimensions of the panel conform to the design specifications described in Appendix A. Directional signs may include a commercial message occupying up to one-half of the message panel.

C. Number of Signs: Only two directional signs are permitted per parcel, unless otherwise recommended by the City Engineer upon review of traffic and/or pedestrian circulation. (Ord. 2017-32, 10-02-2017)

D. Location: Directional signs are only permitted in the following locations:

i. Minimum Setback: No setback required from a right-of-way or public roadway easement.

ii. Directional Signs are limited in height to four (4) feet.

iii. Directional Sign shall not exceed four (4) square feet in area.



APPENDIX A: LIGHTING AND SIGNAGE STYLES

Lighting Styles

Pedestrian Area and Parking Lot Lighting



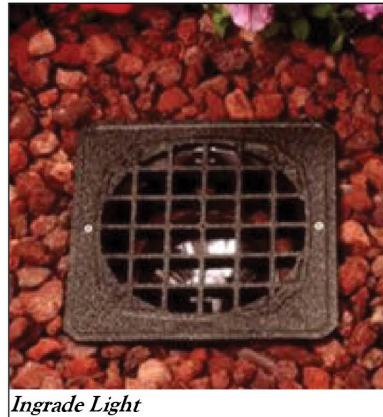
A DISTRICT IN MOTION



APPENDIX A: LIGHTING AND SIGNAGE STYLES

Landscape Lighting

Landscape Lighting



Building Façade Lighting



APPENDIX A: LIGHTING AND SIGNAGE STYLES

New Freestanding Signs shall be Monument Signs

Standards

A. Individual Freestanding Monument Signs:

Area - 0.75 x (lot frontage) - 150 square feet maximum
Maximum Height - 8 feet
Minimum setback - 5 feet
Business Groups 3 or more units
Area - 0.75 x (lot frontage) - 150 square feet maximum
Maximum Height - 10 feet
Minimum setback - 5 feet

B. Design: All new signs shall be monument style.

C. Design: Sign design shall be complementary to the architectural style of the existing or proposed building on site through the use of materials, colors, and detailing.

D. Design: A non-paved landscaped area or planter box equal in size to the area of the sign face is required around the base of the sign. Freestanding signs located in landscaped areas within parking lots shall be surrounded with curbing, and all wiring shall be concealed.

E. Density: One freestanding monument sign is permitted. A corner parcel with two (2) street frontages is permitted an additional freestanding sign. Freestanding signs on the same parcel must be a minimum of 100 feet apart.

F. Separation: A minimum separation of 100 feet shall be maintained between all freestanding signs on the same development.

G. Construction: Freestanding signs shall be constructed of low maintenance materials specified for exterior use by the manufacturer.

H. Illumination: Freestanding sign may be illuminated externally, internally, or with neon. Signs utilizing illumination that radiates a glare or light greater than one half foot-candle at the property line on which the sign is located when it is adjacent to or abutting residential property are prohibited. (Ord. 2017-32, 10-02-2017)



APPENDIX A: LIGHTING AND SIGNAGE STYLES

Existing Chester Road Signs

As outlined in 1147.08 (a) Within eighteen (18) months of amendment of the Northern Lights District Zoning Regulations, property owners with pre-existing ground and pole signs shall present a Sign Improvement Plan to the Planning Commission for review and approval of existing ground and pole signs. The Planning Commission may approve, approve with conditions, or deny any sign improvement plan.

In order to present the best possible sign improvement plan for consideration by the Planning Commission, Chester Road property owners are encouraged to consult the list below for ideas of sign improvements. Sign Improvement Plans should not be limited to face change/message area or message panel changes only. The intent of the Northern Lights Overlay Zoning District regulations is to create a modern, vibrant, pedestrian and vehicular accessible regional business district destination.

Sign Improvement Plans should include one or more of the following elements:

1. Sign Base cladding (addition of brick, stone, metal or other suitable material to hide or partially hide existing pole or poles that support the sign)
2. Up-lighting
3. Internal Illumination
4. External Illumination
5. Landscaping
6. Sign face/message area change
7. Addition of digital electronic message center (EMC) provided there is no increase in overall sign area up to a maximum of 150 square feet. (Ord. 2017-32, 10-02-2017)



APPENDIX B: REVIEW CHECKLIST

Sharonville Northern Lights Overlay District Preliminary Draft Staff Review Checklist Page 1: Guidelines

	Meets Standard?		Meets Standard?		Meets Standard?		Meets Standard?
Architecture		Site Design		Lighting		Signage	
1. Building Materials		1. Building Placement		4. Lighting		1. General	
A. Prohibited Materials		A. Minimum Front Yard Depth		A. Intensity		A. Permitted Sign Types	
		B. Maximum Front Yard Depth		B. Luminaire Mounting Height		B. Prohibited Sign Types	
2. Building Facades		2. Parking		5. Pedestrian Circulation		2. Wall Signs	
A. Minimum Height		A. Minimum Setback from Right-of-Way		A. Building-to-Street Connection		A. Sign Area	
B. Maximum Height		B. Front Yard Prohibition		B. Building-to-Building Connection		B. Number and Location of Signs	
C. Façade Articulation		C. Rear Yard Parking Lot Placement		C. Building-to-Parking Connection		C. Materials and Colors	
D. Façade Transparency		D. Minimum Parking Requirements		D. Minimum Width of Pedestrian Walkways		3. Awning Signs	
		E. Screening		6. Vehicular Circulation		4. Signature Sign Standards	
		F. Interior Landscaping Area		A. Interparcel Access Requirements		A. Number of Signs	
		G. Landscape Island Dimensions		B. Curb Cut Spacing		B. Dimensions	
		H. Interior Planting Requirements		C. Location of Drive-Through Facilities		C. Location	
		I. Additional Landscaping Requirements		D. Lighting of Drive-Through Facilities		5. Ground Signs	
		J. Parking Garages		7. Utility Areas		6. Incidental Directional Signs	
3. Landscape Design				A. Utility Placement		A. Mounting Structure Design	
A. Front Yard Landscaping				B. Dumpster Screening		B. Message Panel Design	
B. Tree Size				C. Loading Area Screening		C. Number of Signs	
C. Shrub Size				D. Mechanical Equipment Screening		D. Multiple Tenants on a Parcel	
Summary						E. Location	
Does the Applicant meet all standards?							
Reviewer's Signature:		Date:					



Sharonville Northern Lights Overlay District Preliminary Draft Staff Review Checklist

Page 2: Guidelines

		Meets Guideline?	Meets Guideline?
Site Design			
1. Building Placement			
A. Front Yard Depth Variation (adjacent properties)			
B. Front Yard Depth Variation (individual buildings)			
C. Front Entrance Facing Chester Road			
D. Framing of Intersections			
2. Parking			
A. Shared Parking			
B. Stormwater Infiltration Islands			
C. Parking Garage Ground Floor			
3. Landscape Design			
A. Pedestrian Amenities			
B. Non-Turf Landscaping			
C. Meandering Design Element			
4. Lighting			
A. Lighting of Landscape Elements			
B. Building Façade Lighting			
C. Parking Lot and Pedestrian Area Lighting Style			
5. Pedestrian Circulation			
A. Meandering Walkways			
B. Crosswalk Delineation			
Summary			
Percentage of Guidelines met:			
Reviewer's Signature:			Date:

		Meets Guideline?
Signage		
5. Ground Signs		
A. Multiple Properties Sharing a Ground Sign		

